

Planning for Resilient Space

Reinventing space for the needs of tomorrow



Preservation – preserves and honors the heritage and character of campus

Preservation and reuse go hand in hand with sustainability

- Using existing buildings more wisely

- Creating flexible space

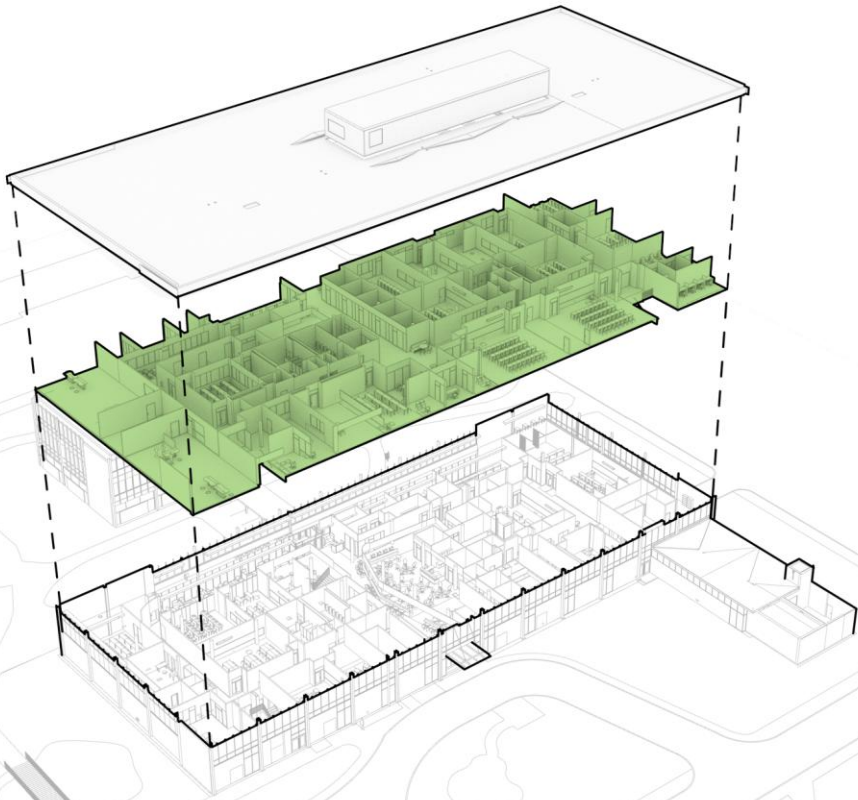
- Incorporating green features



Honor the old to maintain character but do away with what's
no longer useful if it holds no value

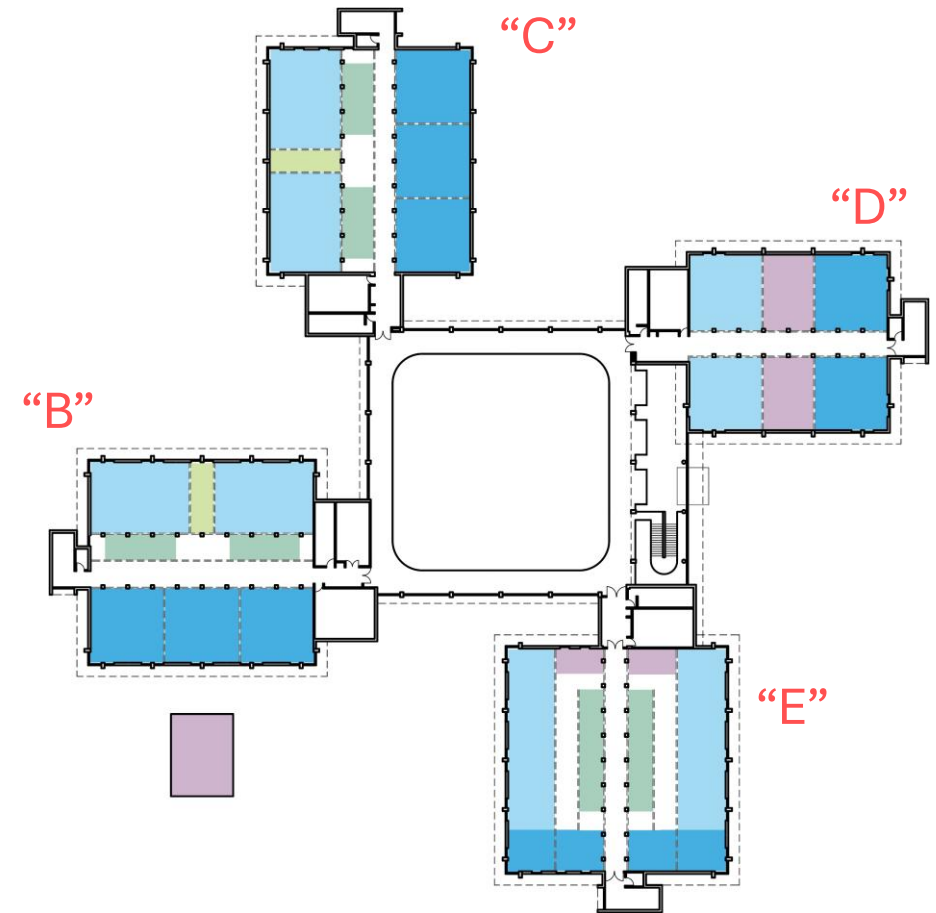
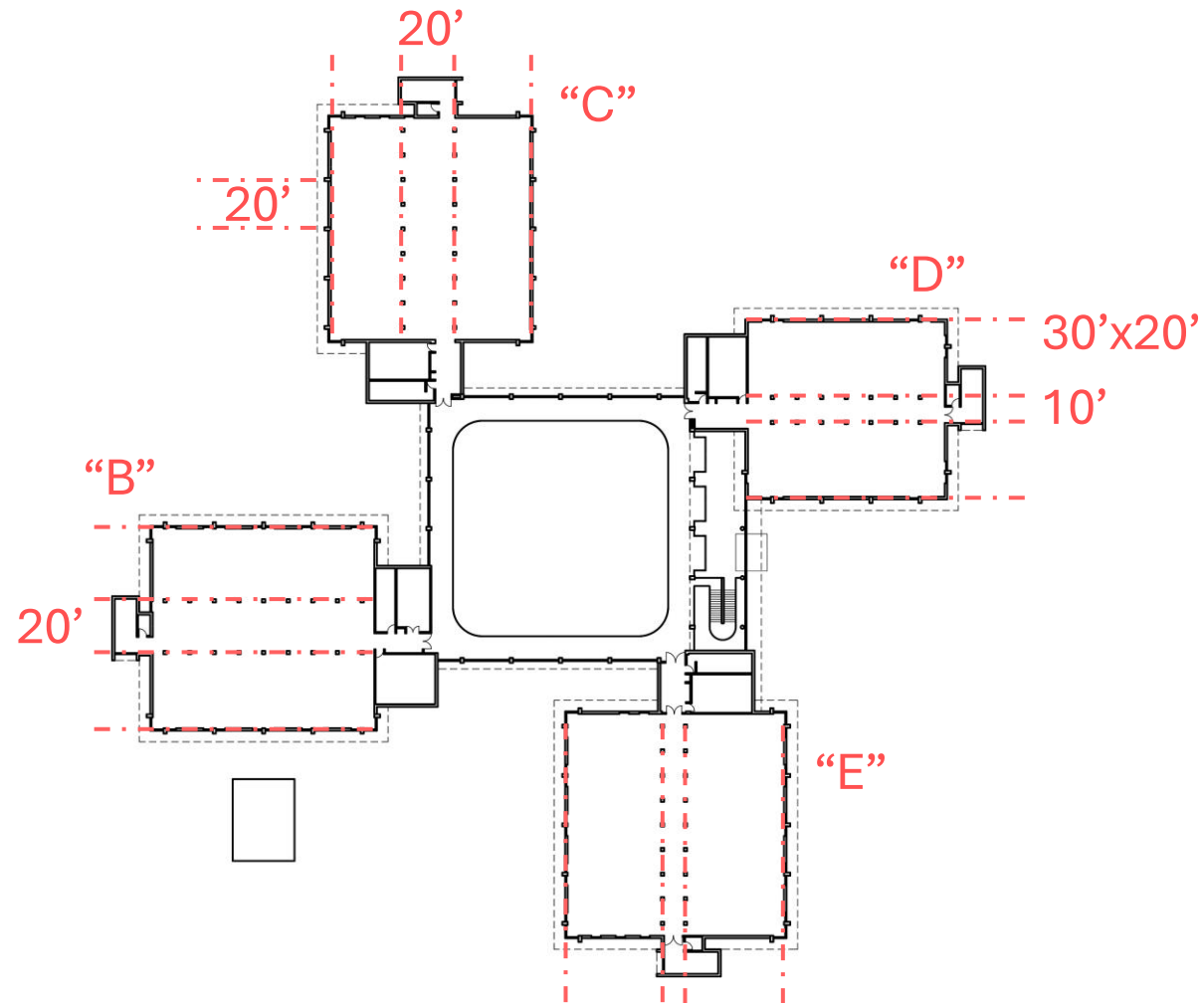


Assess the building for potential opportunities to use existing features in a new way

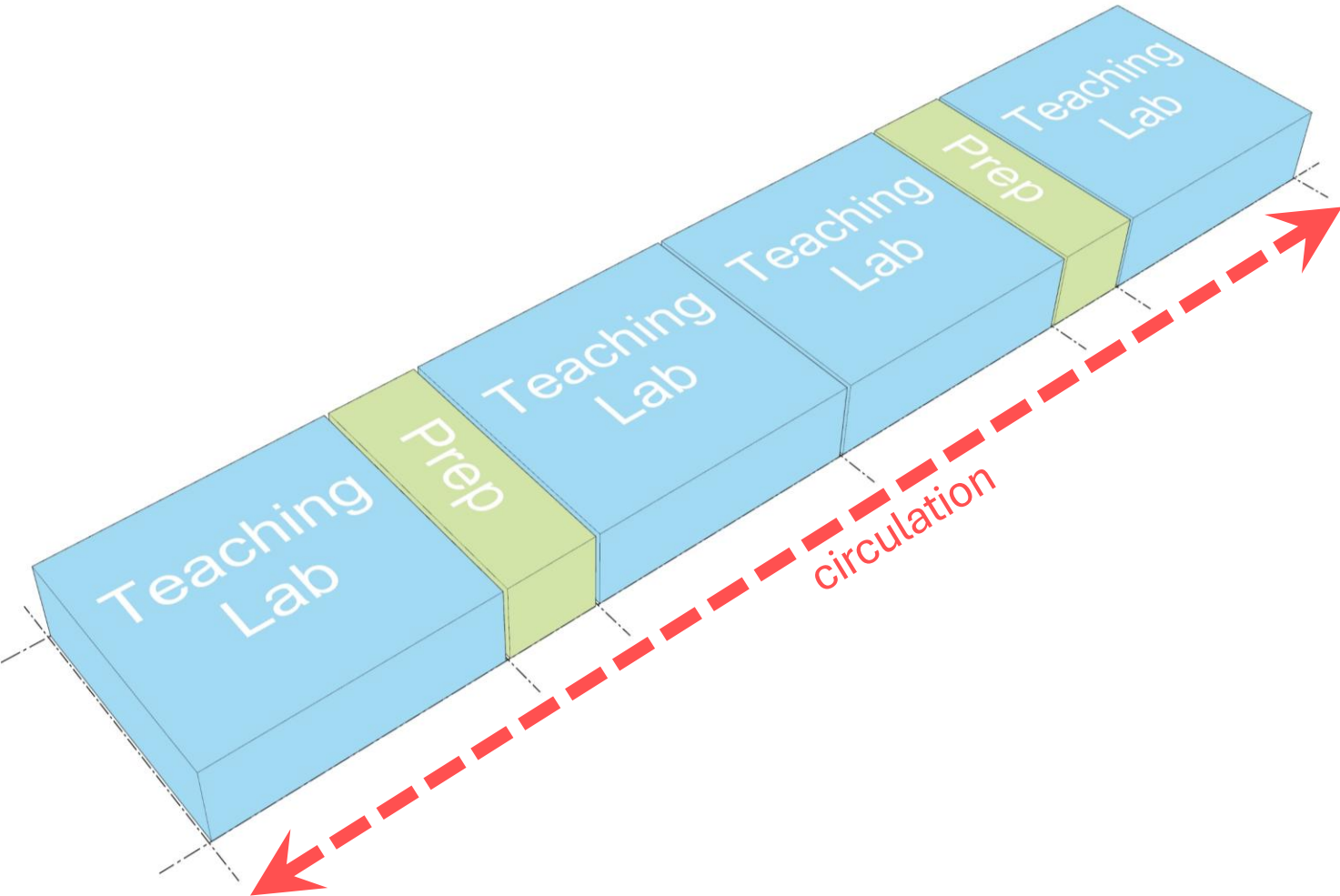


Addition of a second floor to existing building

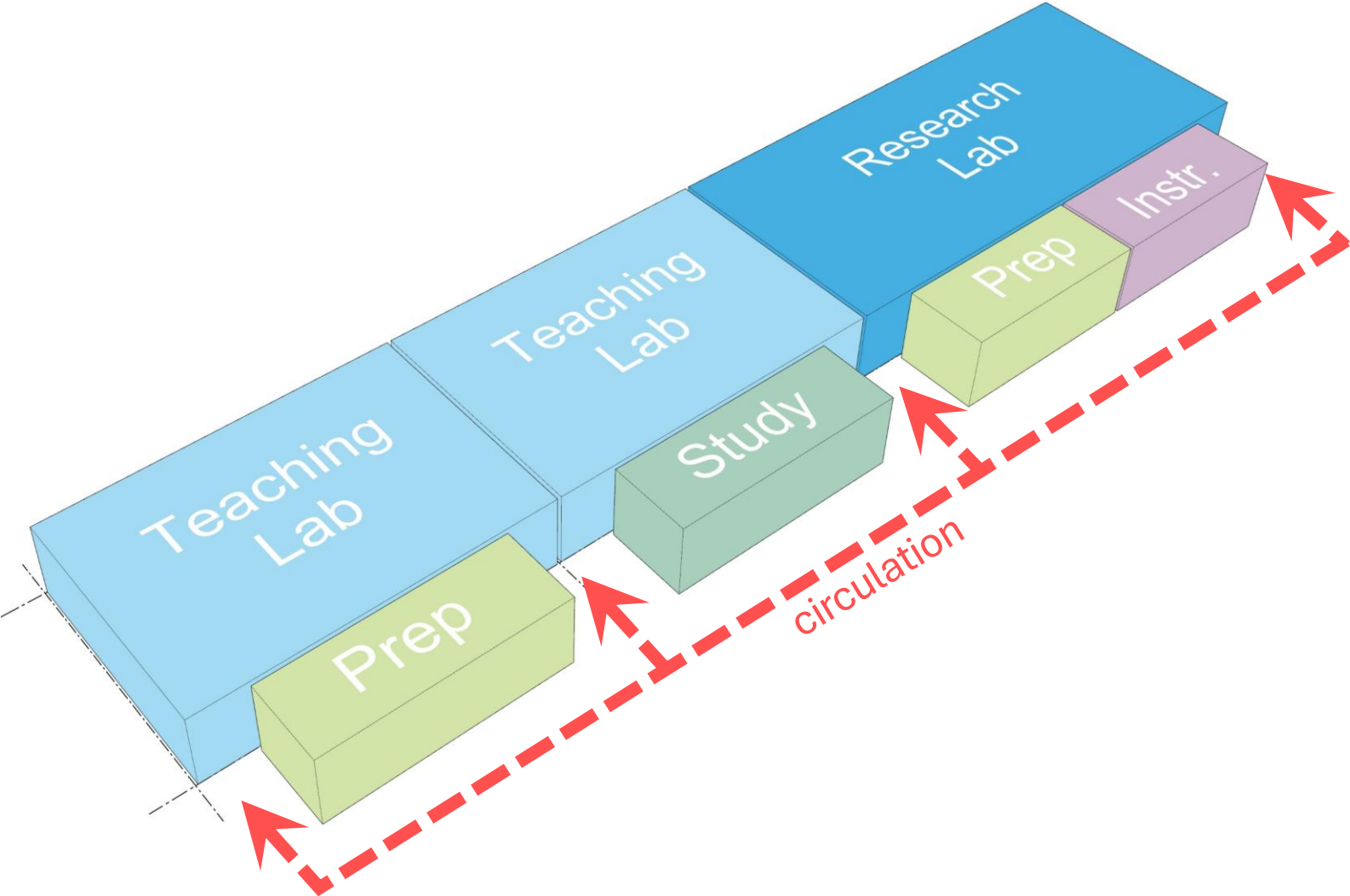
Plan in flexibility and adaptability to ensure robust utilization



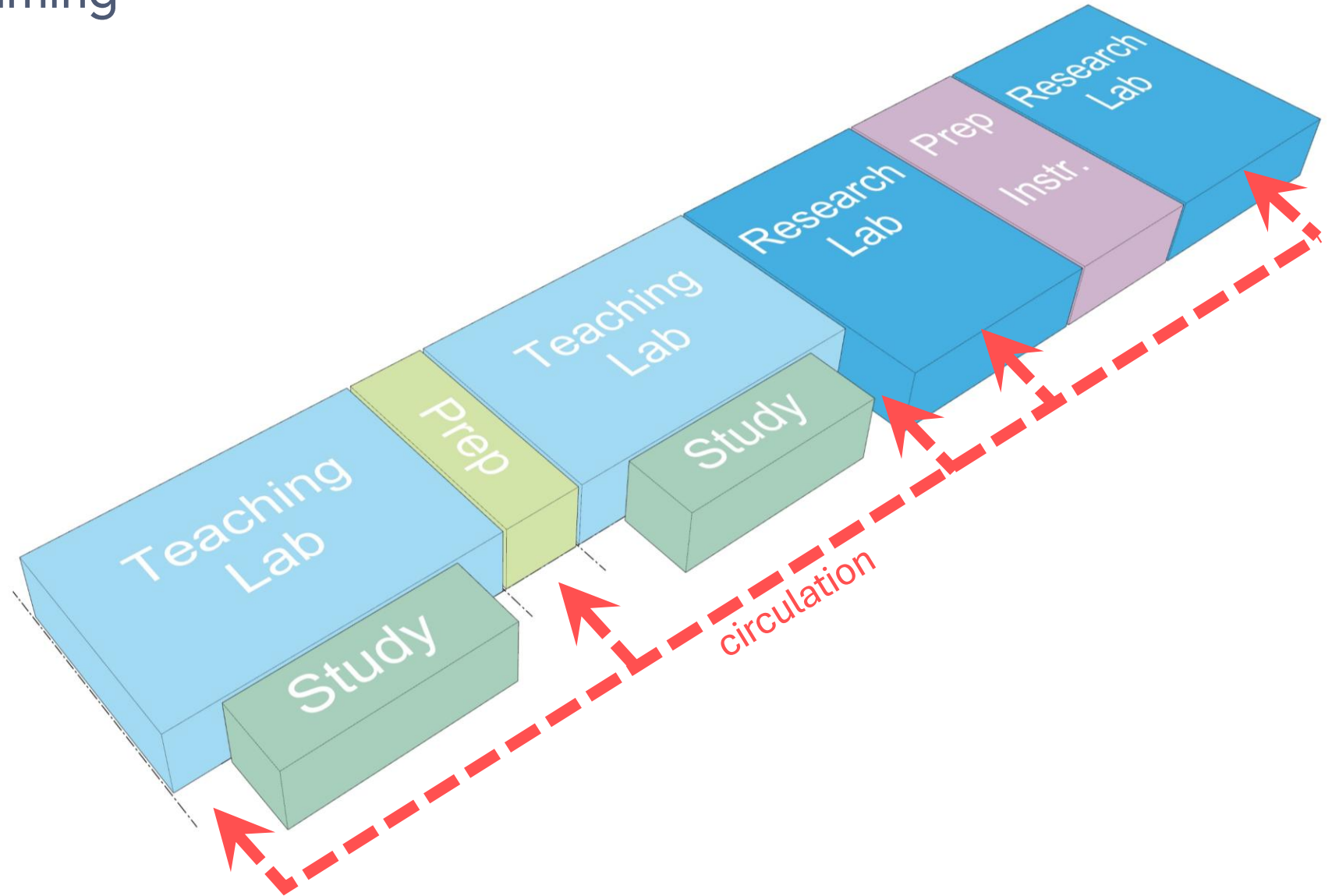
Modular Programming



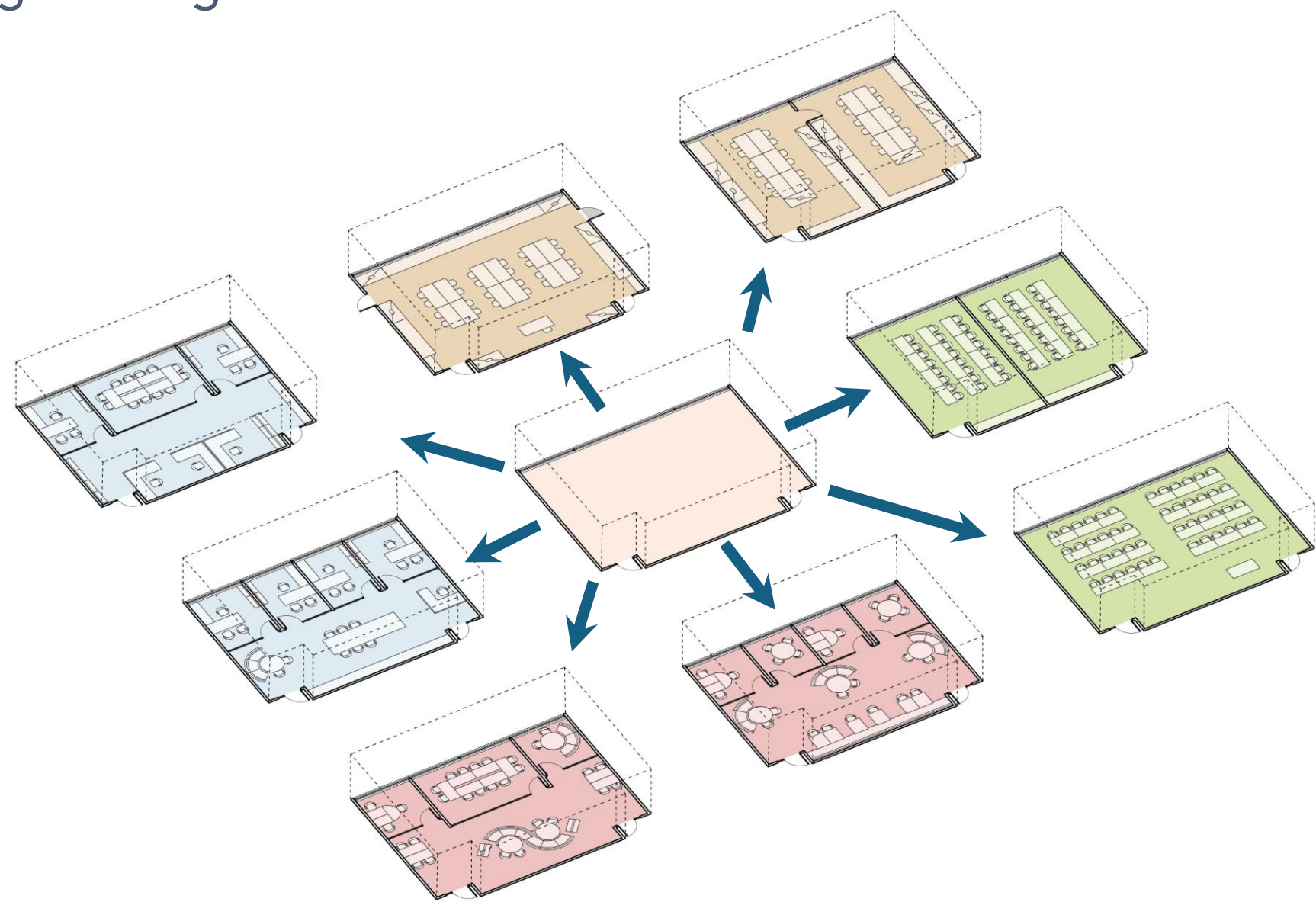
Modular Programming



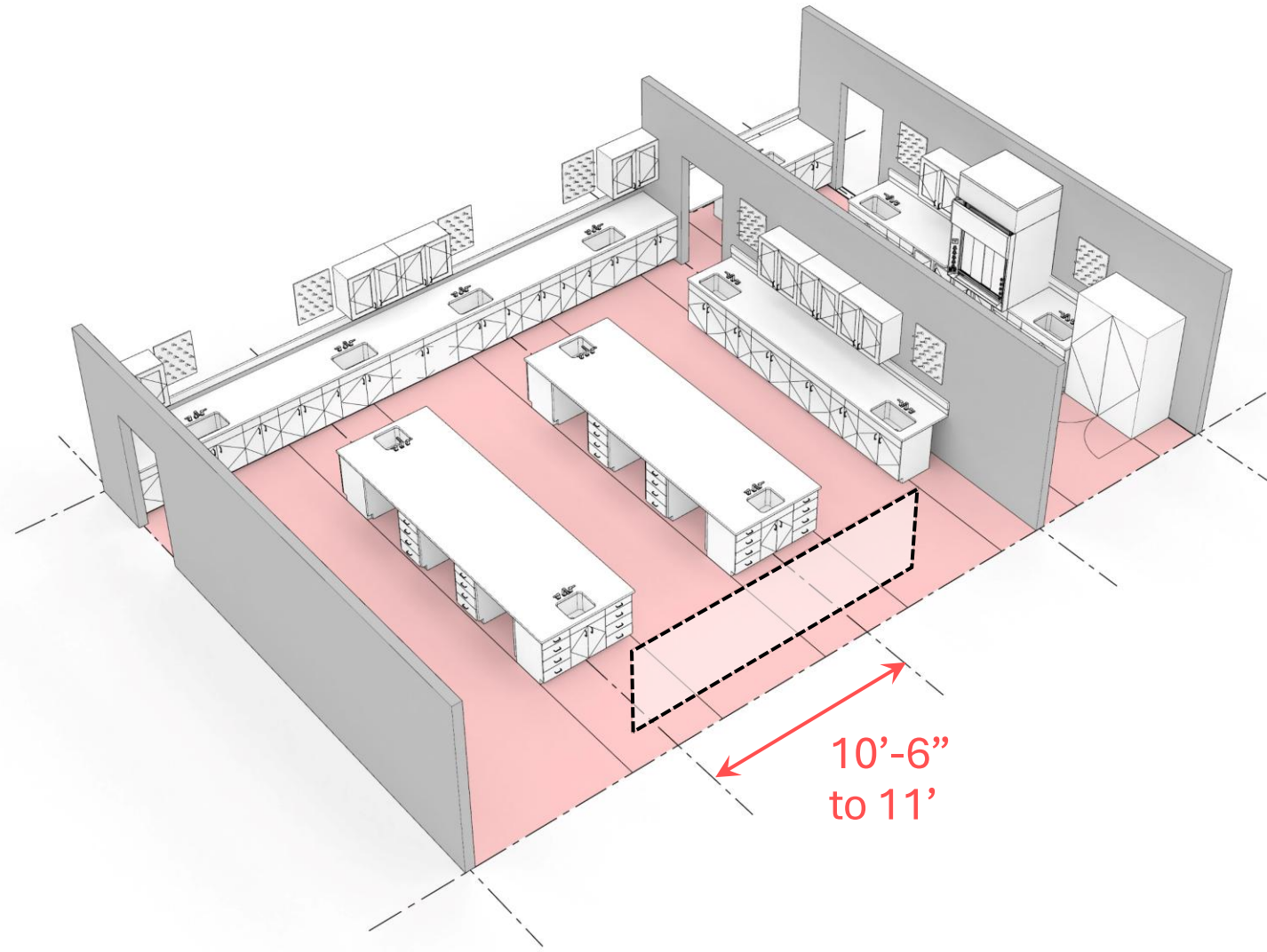
Modular Programming



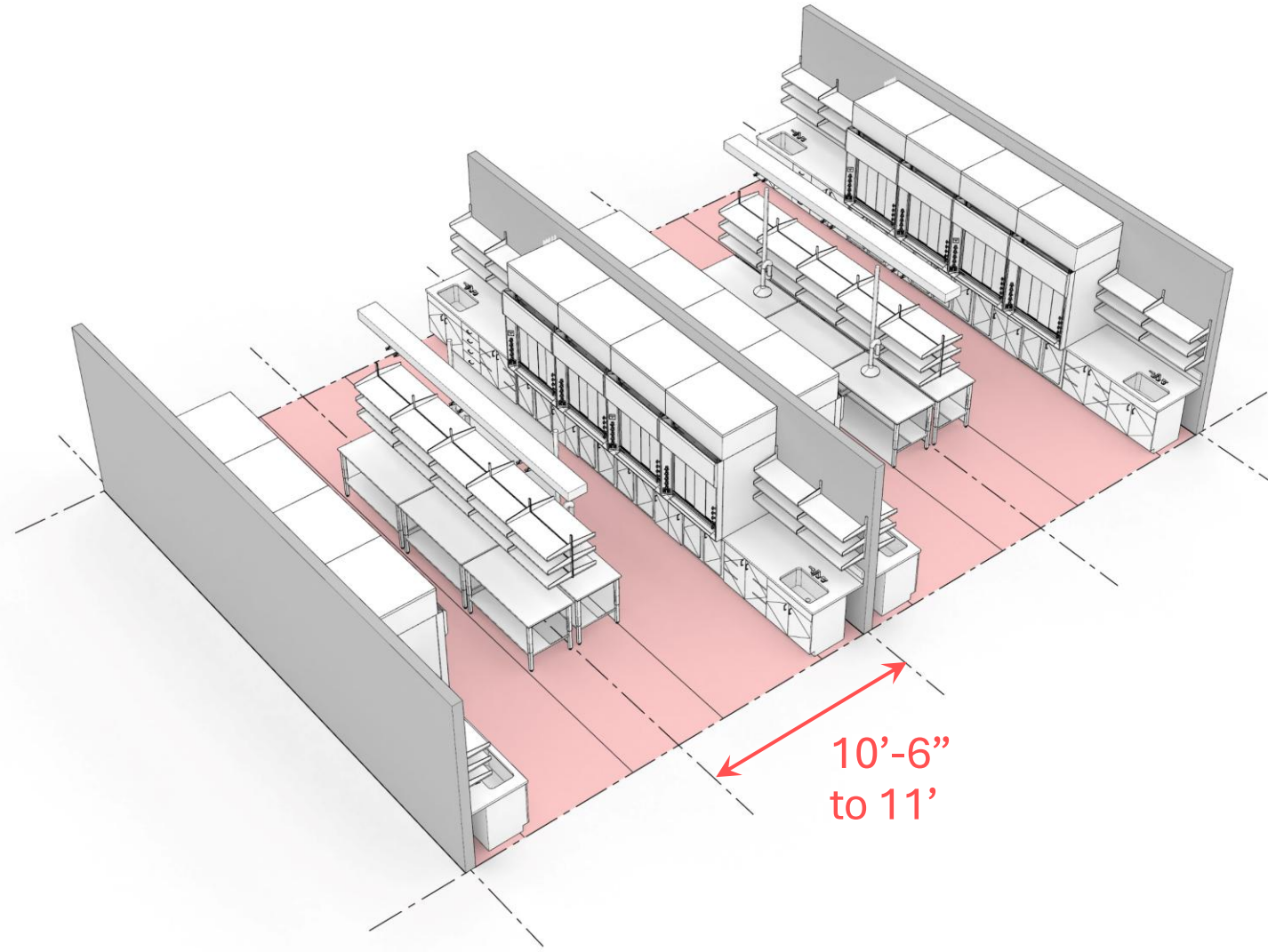
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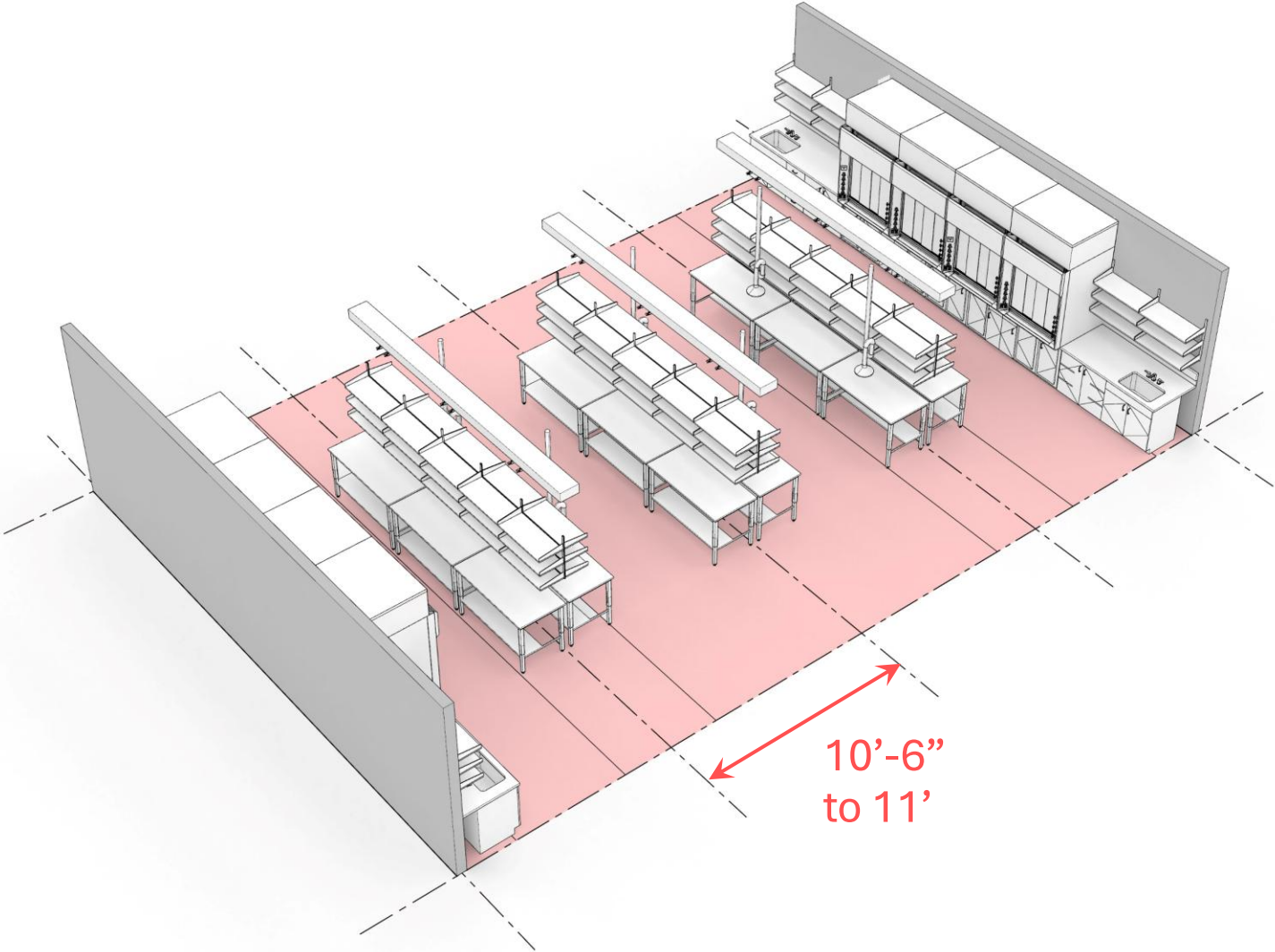
Modular Programming



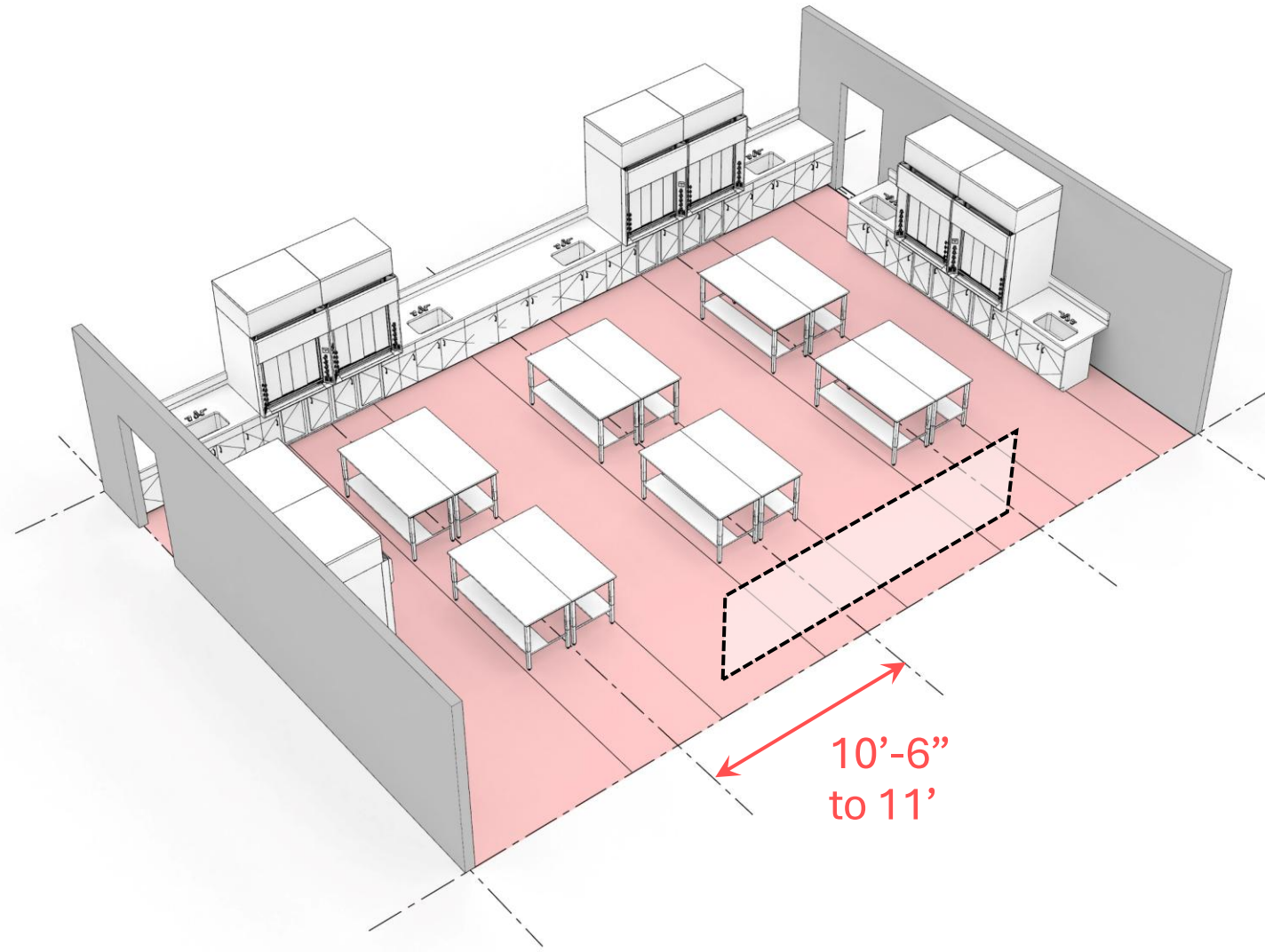
Modular Programming



Modular Programming



Modular Programming



Understanding the priority and characteristics of your campus spaces



Where is learning headed

Planning for the next 50 years

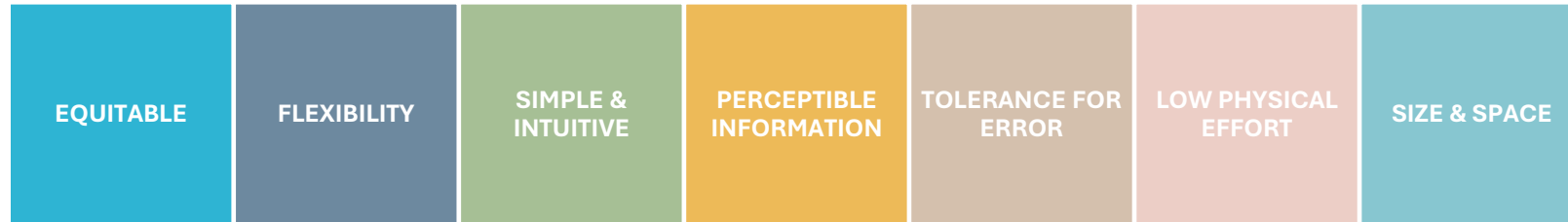
Plan for forward looking technology

Repurposing underutilized space to provide for a new program that has it's own identity but fits within the existing character of the college



Equity

Beyond ADA | Universal Design Principles



Beyond LEED | WELL Building Principles

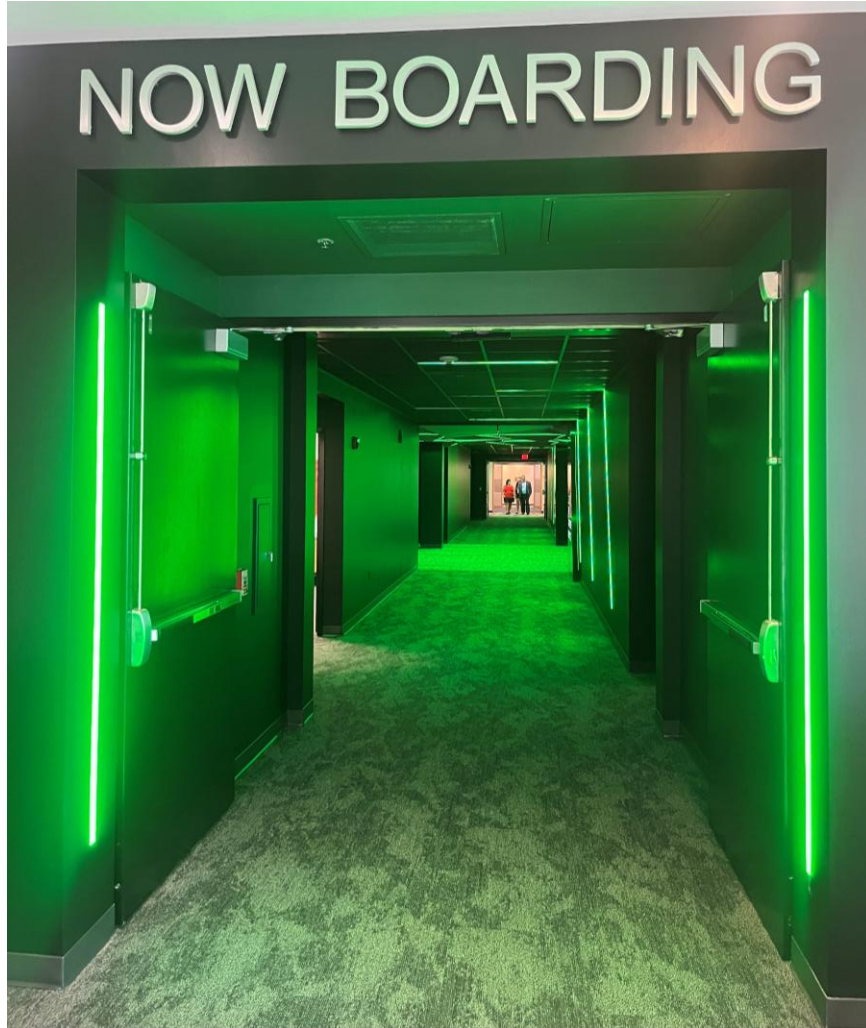


Understand what is required for the new space.
Be prepared to refocus thinking or toss out old ideas of what's needed



This is the before photo of the Center for Immersive Learning space

Small renovation transformed existing, underutilized space
into cutting edge new way of delivering education



Reimagined and reawakened space



How to evaluate an existing building for reuse

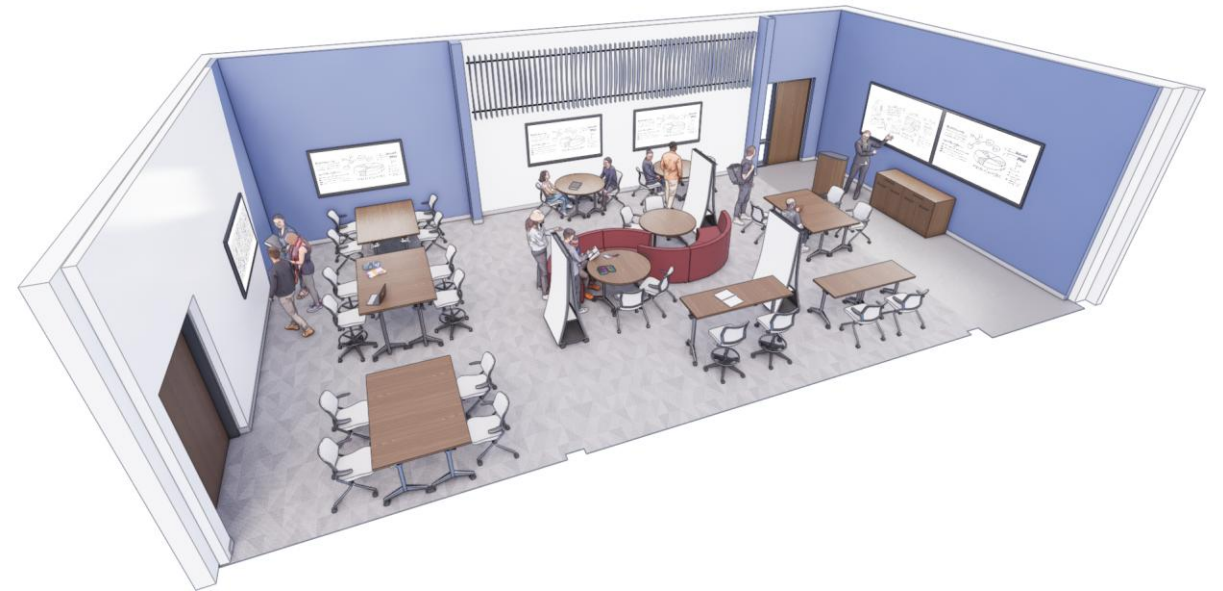
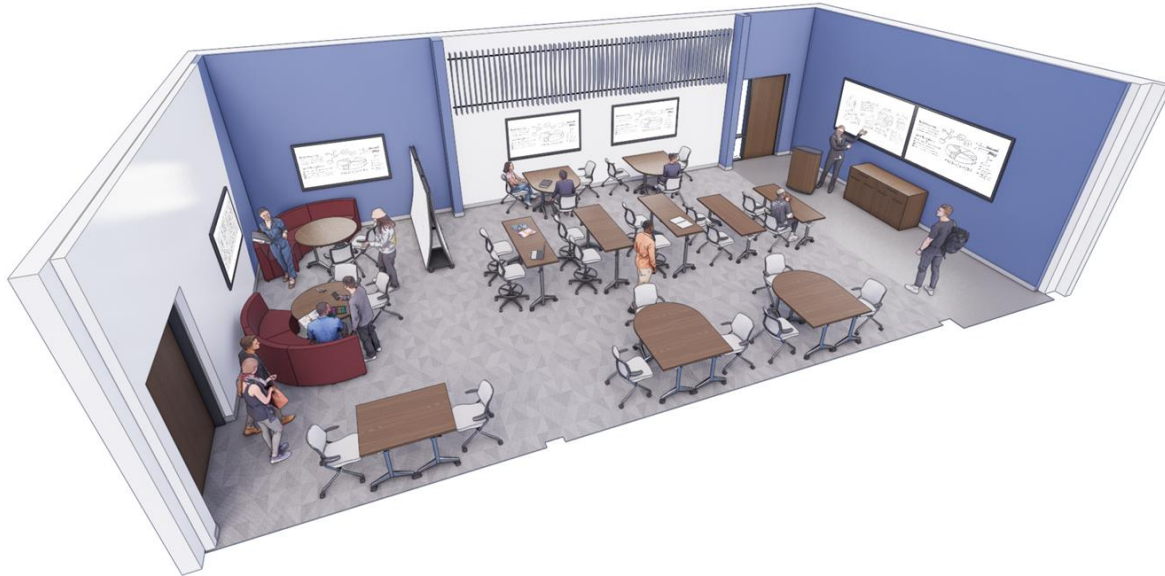


Floor to Floor
Column Spacing
Space Utilization
and Purpose



Building Infrastructure
HVAC Systems
Plumbing Systems
Fire Suppression Systems
Security Systems

Pivot to what influences student excellence



Create flexible, adaptable teaching spaces by providing a variety of furniture types in one classroom

Flexibility Now and in the Future



Room arranged for a traditional class or continuing education event

[Click here](#), or scan with your smartphone camera to launch a panoramic virtual tour



Room arranged to maximize seating for an author event

[Click here](#), or scan with your smartphone camera to launch a panoramic virtual tour



Room arranged for group collaboration or makerspace activities

[Click here](#), or scan with your smartphone camera to launch a panoramic virtual tour



Room arranged for a children's story time event

[Click here](#), or scan with your smartphone camera to launch a panoramic virtual tour



Sustainability and High Performance

Why are Renovations More Sustainable?

Reduced Embodied Carbon: Reusing existing structure reduces demand for new materials and associated carbon emissions

Resource Conservation: Minimizes construction waste

Waste Reduction: Conserves resources

Circular Economy Principles: giving existing structures and materials a new life



Resiliency

Multiple Energy Sources

Multiple Water Sources

Disaster Fortitude Design

Passive Survivability

Support Natural Processes

Evaluate Flood Plain

Provide Access to Resources

Civil Support Services

Energy Independence

Water Independence

Renewable Resources

Resource Storage

Environmental Effects

Community Supports

Sustainability

Energy Reduction

Renewable Energy Production

Recycled / Reclaimed Water

Locally Sourced Materials

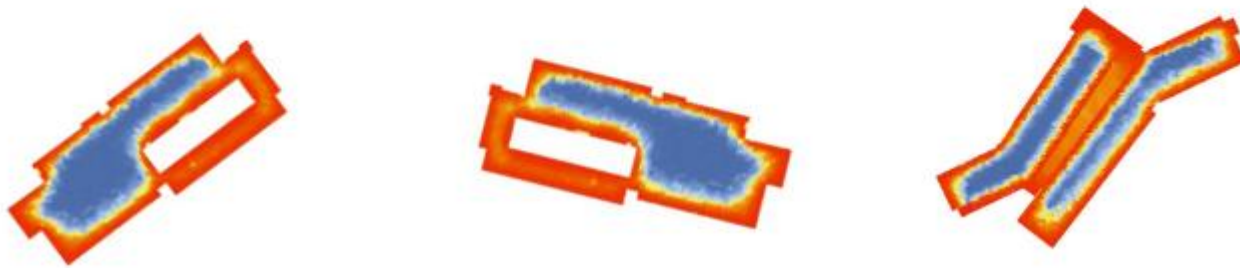
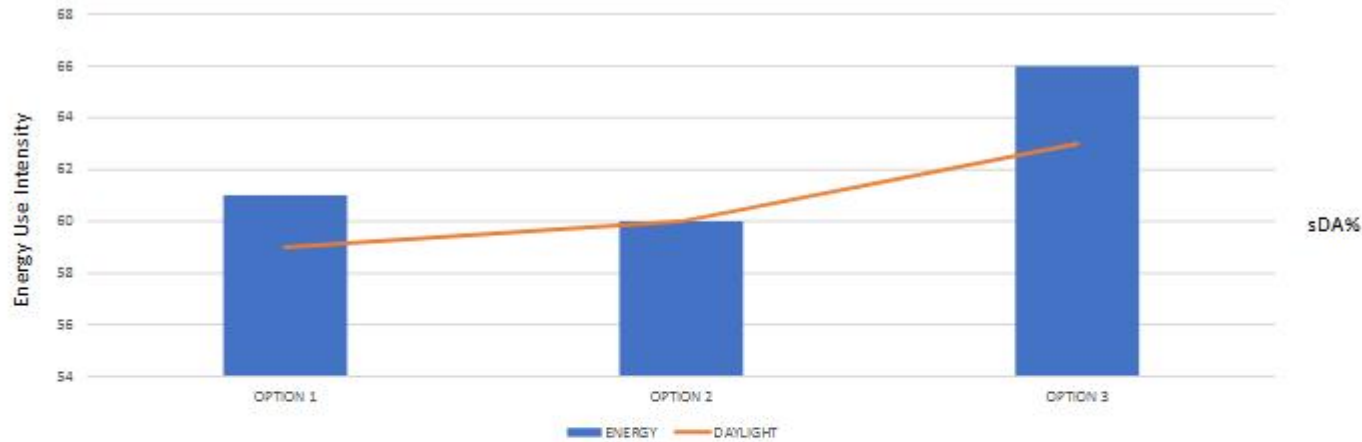
Community Responsibility

Access to Transportation

Indoor Environmental Quality

Brownfield Restoration

Sustainable, resilient buildings make a compelling business case



Energy usage diagrams

There is a delicate balance between upfront costs and long-term energy savings.

Decisions made here need to account for initial financial outlays versus ongoing operational savings.

Reduce Costs



Phased renovation in existing building



Proposed new building

Lower cost and less invasive options to consider in repurposing space

Reduced Operating Costs

New energy-efficient systems, insulation, and fixtures will lower utility bills

Increased Revenue

Modernized facility can optimize space utilization and generate more income

Increased Property Value

Protects and enhances the value of your assets

Historic Tax Credits

State or federal tax credits may be available

Recruitment and Retention

Attract and retain prospective students and faculty

Enhanced Campus Community

Renovated space encourages social interaction and interdisciplinary work

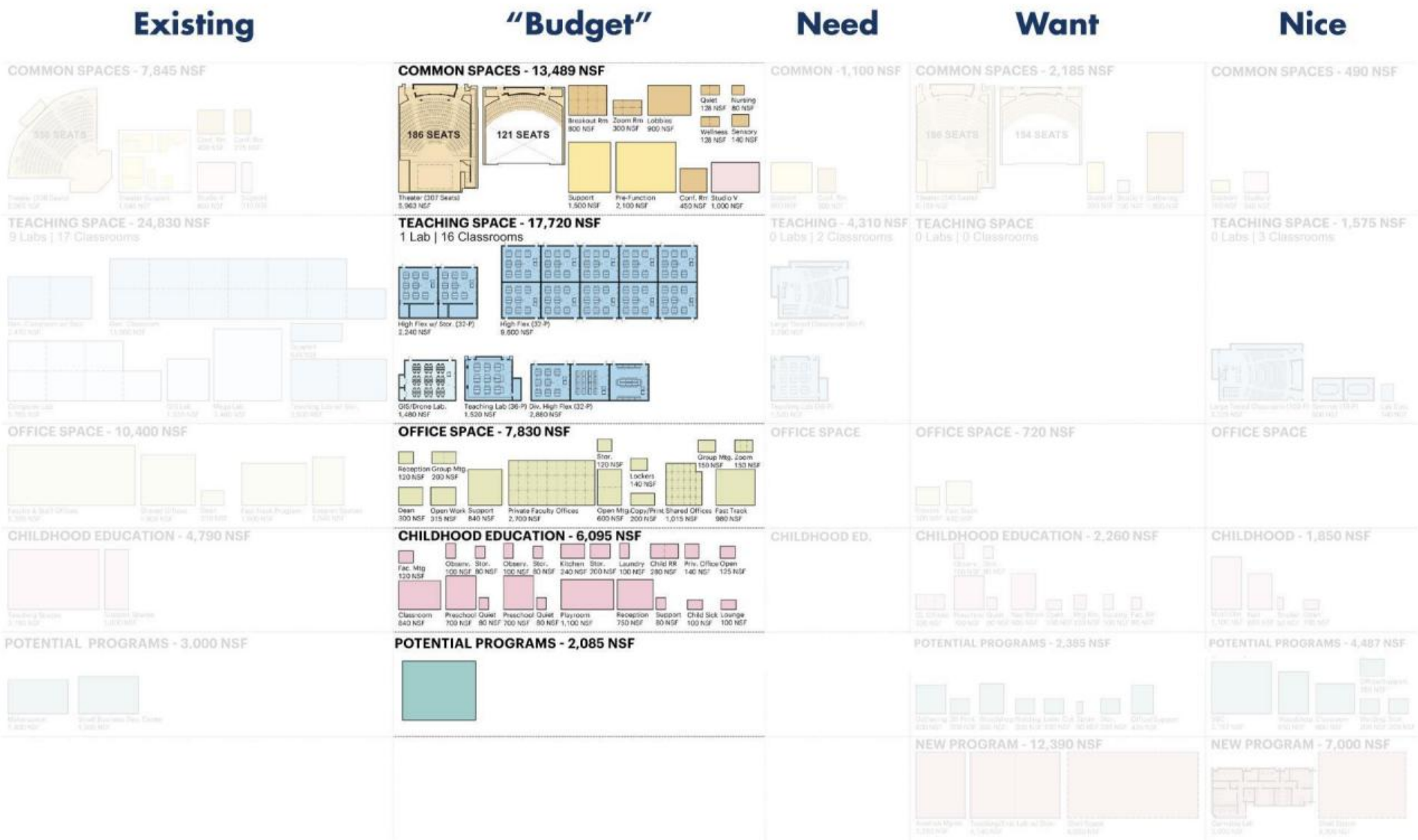
Increased Sustainability

Reduces campus's carbon footprint

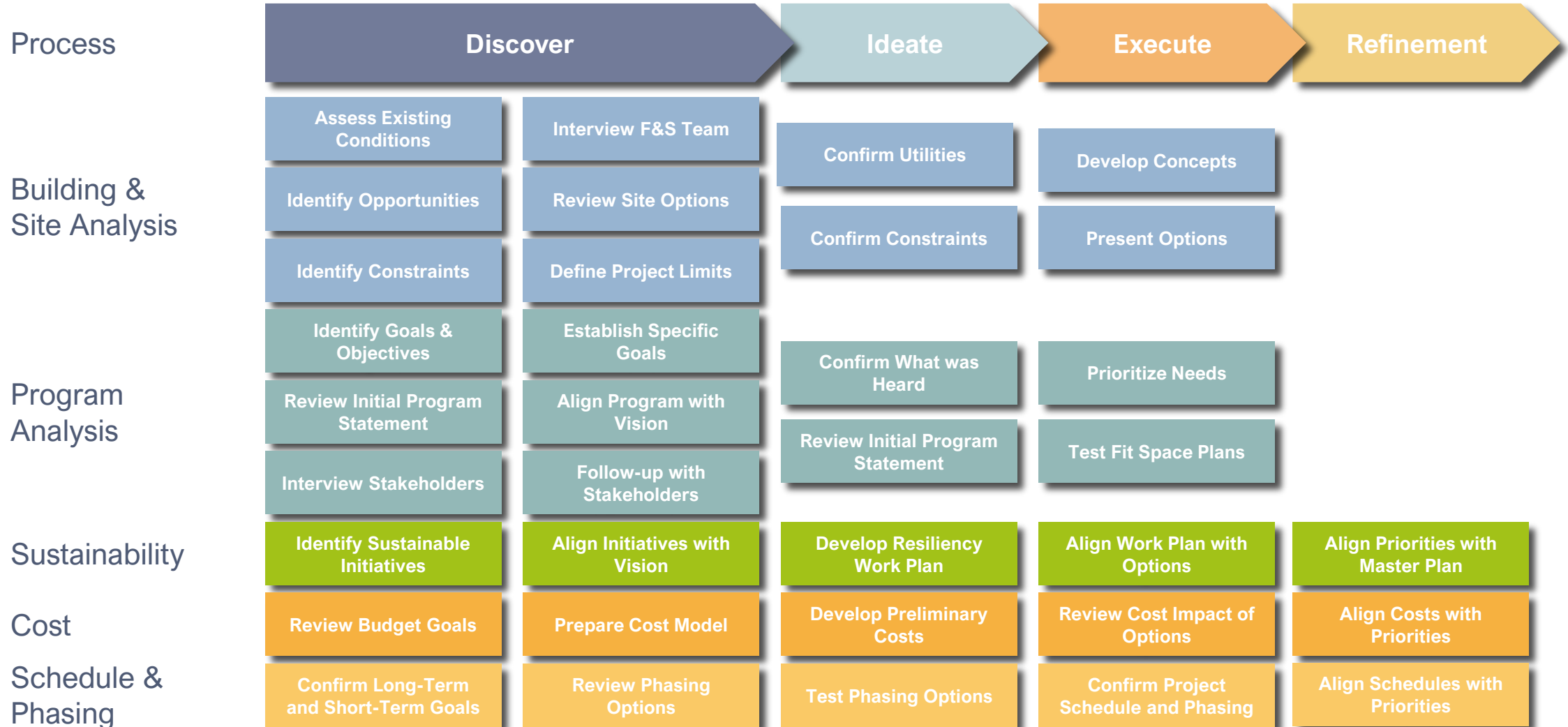
Support for Modern Pedagogy

Facility innovative teaching and learning methods

Cost Approach | Priorities



Reduce time to completion

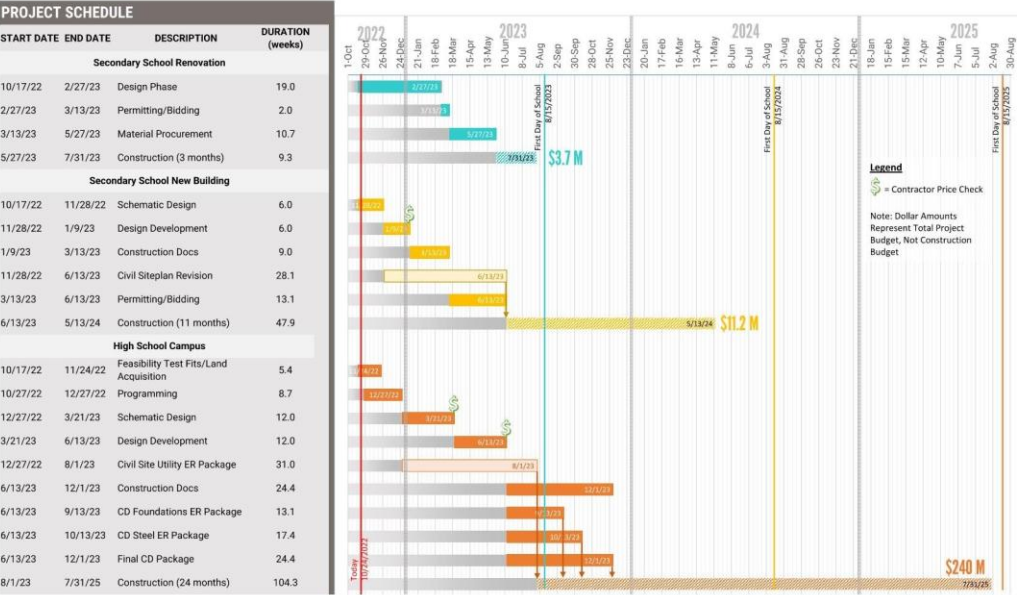


MANAGING THE UNEXPECTED

Detailed Project Timelines

- End Date Scheduling
- Collaborative Schedule Building
- Reviews at Each Phase and Key Milestones

Preliminary Project Schedule



Early Education Center Addition and Renovation

MILESTONES SCHEDULE		
SCHEMATIC DESIGN PHASE		
6/20 - 6/24/22	@ 2:00 PM	Consultant Kick-off Meeting / SD Phase Meeting
6/20 - 7/1/22		Model Existing Building
TBD	@ TBD	Walk Existing Site
Friday, July 15, 2022	@ TBD	Review Program & Conceptual Design w/Owner
Friday, July 22, 2022	@ TBD	Review Site Plan & Floor Plan w/Owner
Monday, July 25, 2022		SD Code Review
8/1 - 8/5/22	@ TBD	City Pre-Development Meeting (Krum)
Wednesday, August 10, 2022	@ TBD	Detailed Site Plan and Floor Plan Review w/ Owner
TBD	@ TBD	Technology/ Security/ Hardware Meeting – First Conversation
TBD	@ TBD	Meeting w/ Food Service Director
Tuesday, August 23, 2022	@ 10:00 AM	100% SD Drawings & Spec TOC due from Consultants
Friday, August 26, 2022	@ 10:00 AM	SD Package Due to Owner & CM
8/29 - 9/16/2022		Internal QC & Schematic Design Checklist Review
Monday, September 19, 2022	@ 10:00 AM	Project Narrative Due from Consultants
Monday, September 19, 2022	@ 10:00 AM	SD OPC Due from Consultants
Wednesday, September 28, 2022	@ EOD	Draft SD Booklet Due
Wednesday, September 28, 2022	@ TBD	Cost Review w/ Owner & CM
Wednesday, October 5, 2022	@ 10:00 AM	SD Booklet Due to Owner
Wednesday, October 12, 2022	@ 6:30PM	Board Presentation & Approval (Regularly scheduled Board meeting)
DESIGN DEVELOPMENT PHASE		
Tuesday, October 4, 2022	@ 10:00AM	DD Phase Meeting
Friday, October 14, 2022		DD Code Review
10/17-10/21/22	@ TBD	Preliminary City Review (Krum)
Wednesday, October 19, 2022	@ TBD	Interior Finish Meeting - Review Materials and Color Schemes w/Owner - Select Finishes
TBD	@ TBD	Final Technology/ Security/ Hardware Meeting
Friday, October 21, 2022	10:00 AM	50% DD Progress Drawings Due
Monday, October 24, 2022	@ 10:00 AM	Send Drawings to Door Hardware Consultant
Tuesday, October 25, 2022	@ 10:00AM	50% DD Page Turn
Wednesday, November 2, 2022	@ TBD	Interior Finish Meeting - Review Updated Materials w/Owner - Finalize Finishes and Room Layouts
Tuesday, November 8, 2022	@ 10:00 AM	100% DD Drawings & Specs Due From Consultants
Friday, November 11, 2022	@ 10:00AM	DD Package Due to Owner
Monday, December 5, 2022	@ 10:00 AM	DD OPC Due from Consultants
11/14/22 - 12/09/22		Internal QC, DD Checklist Review 100% DD Clash Detection
Monday, December 19, 2022		Owner Approval by Administration
12/23 - 1/2/23		Holiday Break
CONSTRUCTION DOCUMENT PHASE		
Thursday, January 5, 2023	@ 10:00AM	CD Phase Meeting
Monday, January 9, 2023		CD Code Review
TBD	@ TBD	Final Technology/ Security/ Hardware Meeting
Wednesday, January 11, 2023	@ 10:00 AM	Send Drawings to Allegion for door hardware
Friday, January 13, 2023	@ 10:00AM	50% CD Drawings & Specs due from Consultants (Replacement or new specs only)
1/16 - 1/20		50% CD QC Review, 50% CD Clash Detection
Friday, February 3, 2023	@ 10:00 AM	CD OPC Due from Consultants
Friday, February 3, 2023	@ 10:00 AM	100% CD Drawings & Specs Due from Consultants (Replacement or new specs only)
Tuesday, February 7, 2023	@ EOD	100% CD package & OPC Due to Owner
Tuesday, February 7, 2023	@ 10:00 AM	Submit to QC
2/7 - 2/15/23		100% CD QC Review, 100% Clash Detection
Thursday, February 16, 2023	@ TBD	Sr QC Redline & Clash Detection Review Meeting
Thursday, February 16, 2023	@	Review CD comments from Owner
2/16 - 2/22/23		Redline Pick-up
Tuesday, February 21, 2023	@ NOON	Final Model Uploads - no model changes beyond this date
Tuesday, February 21, 2023	@ 10:00AM	Final Specs & Seals Pages due from Consultants (Replacement or new specs only)
Wednesday, February 22, 2023	@ EOD	Sealed PDFs due from Consultants (dated 2/24/2023)
Friday, February 24, 2023	@ 10:00 AM	Final PDFs & Specs due to Owner/PM
Friday, February 24, 2023	@ EOD	
BIDDING & PERMITTING		
Monday, February 27, 2023	@ EOD	Issue for Review, Permits, ADA, Energy and Bidding
Friday, March 10, 2023	@ TBD	Pre-bid meeting
Tuesday, March 28, 2023	@ TBD	Bid Date
Feb. 23 - April 23		Receive and Respond to City Comments
Wednesday, April 12, 2023		Board Award
CONSTRUCTION ADMINISTRATION		
Wednesday, April 19, 2023		Notice to Proceed
Wednesday, April 26, 2023		Construction Start
Wednesday, June 19, 2024		Substantial Completion

*All disciplines need to publish models and CAD files to the BIM 360 folder at noon each Friday so that the entire team can utilize them for coordination.
*All disciplines will participate in a Bi-weekly coordination call every Tuesday as designated

Questions?